

BY-L
SURVEY
Hopkins County, Texas
P.O. Box
Hopkins, Texas
75451
www.blsurvey.com

PROJECT NAME:
The Meadows at Deer Crossing

ADDRESS:
2241 CR 3912, DING, TX 75437

ACRAGE: 242.47 ACRES

PREPARED: 10/27/2023

BY: BL SURVEY, INC.

TECHNICIAN: ACH

ON CONTROLLING MONUMENT
HOPKINS COUNTY, TEXAS

APPLICANT: REAL PROPERTY RECORDS,
HOPKINS COUNTY, TEXAS

APPROVED: REAL PROPERTY RECORDS,
HOPKINS COUNTY, TEXAS

APPROVED: REAL PROPERTY RECORDS,
HOPKINS COUNTY, TEXAS

LEGEND

Point For Corner

3/8" Iron Rod Found

5/8" Iron Pipe Found

1/2" Iron Pipe Found (by line)

1/2" Iron Rod Found

1/2" Iron Pipe Found (by line)

1/2" Iron Rod Found

Survey Line

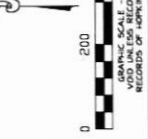
Asphalt Road

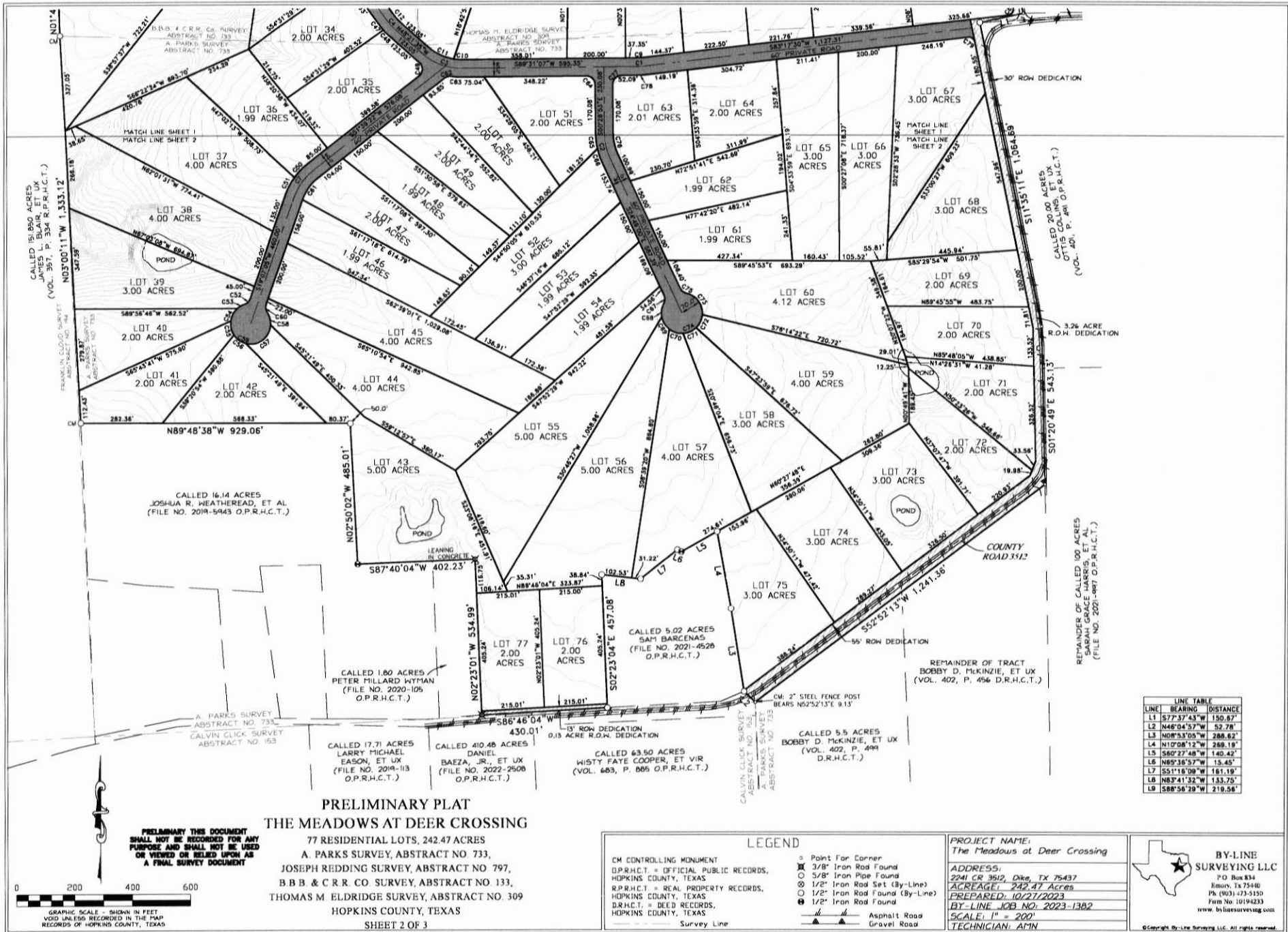
Gravel Road

PRELIMINARY PLAT
THE MEADOWS AT DEER CROSSING
77 RESIDENTIAL LOTS, 242.47 ACRES

A. PARKS SURVEY, ABSTRACT NO. 733,
JOSEPH REDDING SURVEY, ABSTRACT NO. 797,
B.B.B. & C.R. CO. SURVEY, ABSTRACT NO. 133,
THOMAS M. ELDRIDGE SURVEY, ABSTRACT NO. 309
HOPKINS COUNTY, TEXAS

PRELIMINARY THIS DOCUMENT
SHALL NOT BE USED FOR
PURPOSES AND SHALL NOT BE USED
OR VERIFIED OR RECORDED UNLESS
AS A FINAL SURVEY DOCUMENT





CALLLED 15.00 ACRES
JAMES P. WATSON, ET UX
(VOL. 357, P. 354 D.P.R.H.C.T.)

FRANKS SURVEY
ABSTRACT NO. 153

CALLLED 16.14 ACRES
JOSHUA R. WEATHERHEAD, ET AL
(FILE NO. 2019-5943 D.P.R.H.C.T.)

A. PARKS SURVEY
ABSTRACT NO. 733

CALLLED 1.00 ACRES
PETER MILLARD WYMAN
(FILE NO. 2020-106
O.P.R.H.C.T.)

CALLLED 17.71 ACRES
LARRY MICHAEL
EASON, ET UX
(FILE NO. 2019-113
O.P.R.H.C.T.)

CALLLED 40.48 ACRES
DANIEL
BAEZA, JR., ET UX
(FILE NO. 2022-2508
O.P.R.H.C.T.)

CALLLED 63.50 ACRES
WISTY FAYE COOPER, ET VIR
(VOL. 603, P. 005 O.P.R.H.C.T.)

REMAINDER OF TRACT
BOBBY D. MCKINZIE, ET UX
(VOL. 402, P. 456 D.P.R.H.C.T.)

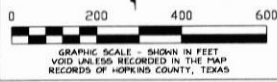
REMAINDER OF CALLED 100 ACRES
SARAH GRACE HARRIS, ET AL
(FILE NO. 2001-087 O.P.R.H.C.T.)

CALLLED 20.00 ACRES
OTTIS G. AND D.P.R.H.C.T.)

PRELIMINARY PLAT
THE MEADOWS AT DEER CROSSING
77 RESIDENTIAL LOTS, 242.47 ACRES
A. PARKS SURVEY, ABSTRACT NO. 733,
JOSEPH REDDING SURVEY, ABSTRACT NO. 797,
B.B.B. & C.R.R. CO SURVEY, ABSTRACT NO. 133,
THOMAS M. ELDRIDGE SURVEY, ABSTRACT NO. 309
HOPKINS COUNTY, TEXAS
SHEET 2 OF 3

LINE	BEARING	DISTANCE
L1	S77°37'43"W	150.67'
L2	N48°04'57"W	52.78'
L3	N08°53'05"W	288.62'
L4	N17°08'12"W	268.19'
L5	S82°27'48"W	140.42'
L6	N85°36'57"W	15.45'
L7	S51°18'09"W	181.19'
L8	N83°41'52"W	133.75'
L9	S88°58'29"W	219.58'

PRELIMINARY THIS DOCUMENT
SHALL NOT BE RECORDED FOR ANY
PURPOSE AND SHALL NOT BE USED
OR VIEWED OR RELIED UPON AS
A FINAL SURVEY DOCUMENT



LEGEND

- CM CONTROLLING MONUMENT
- D.P.R.H.C.T. = OFFICIAL PUBLIC RECORDS, HOPKINS COUNTY, TEXAS
- R.P.R.H.C.T. = REAL PROPERTY RECORDS, HOPKINS COUNTY, TEXAS
- D.R.H.C.T. = DEED RECORDS, HOPKINS COUNTY, TEXAS
- Point For Corner
- 3/8" Iron Rod Found
- 5/8" Iron Pipe Found
- 1/2" Iron Rod Set (By-Line)
- 1/2" Iron Rod Found (By-Line)
- 1/2" Iron Rod Found
- Asphalt Road
- Gravel Road
- Survey Line

PROJECT NAME:
The Meadows at Deer Crossing

ADDRESS:
2241 CR 3512, Dike, TX 75437

ACREAGE: 242.47 Acres

PREPARED: 10/27/2023

BY-LINE JOB NO: 2023-1382

SCALE: 1" = 200'

TECHNICIAN: AMN

BY-LINE SURVEYING LLC

P.O. Box 834
Eldorado, TX 75840
PH (903) 773-5150
Firm No. 10194233
www.bylinesurveying.com

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APPLICATION FOR LAND SUBDIVISION (PLAT)

DATE RECEIVED: _____

CHECK ONE: Preliminary Plat Final Plat Replat Amended Cancellation

1. PROPOSED SUBDIVISION NAME: The Meadows at Deer Crossing UNIT NO. _____

LOCATION DESCRIPTION/NEAREST COUNTY ROAD 2241 CR 3512, Bike

ACREAGE 242.47 NO. OF LOTS: EXISTING none PROPOSED 77

REASON(S) FOR PLATTING/REPLATTING to create 77 residential lots

2. OWNER/APPLICANT*: DC TXLP, LLC - Vincent Russo

(*If applicant is person other than owner, a letter of authorization must be provided from owner)

ADDRESS: 1150 Emory Central Drive, suite 120, Dallas, TX 75247

TELEPHONE: 205-300-1326 FAX: _____ MOBILE: _____

EMAIL: _____

3. LICENSED ENGINEER/SURVEYOR: By Line Surveying LLC - Tina Ballard

MAILING ADDRESS: PO Box 834, Emory TX 75440

TELEPHONE: 903-473-5150 FAX: _____ MOBILE: 903-368-8389

EMAIL ADDRESS: tina@bylinesurveying.com

4. LIST ANY VARIANCES REQUESTED: _____

REASON FOR REQUEST (LIST ANY HARDSHIPS): _____

5. PRESENT USE OF THE PROPERTY: _____

INTENDED USE OF LOTS: (CHECK ALL THOSE THAT APPLY)

RESIDENTIAL (SINGLE FAMILY) RESIDENTIAL (MULTI-FAMILY)

OTHER (SPECIFY) _____

6. PROPERTY LOCATED WITHIN CITY ETJ: _____ YES NO

If yes, Name of City: _____

7. IS ANY PART OF THE PROPERTY IN A FLOODPLAIN? YES NO

WATER SUPPLY: North Hopkins WSC ELECTRIC SERVICE: Farmers Electric

SEWAGE DISPOSAL: septic GAS SERVICE: NO

8. Is the property subject to any liens, encumbrances, or judgments? If so, give details. (Provide separate sheet if needed) Permission from any lien holders and/or removal of any encumbrances or judgments will be necessary prior to filing of said plat with the County Clerk's Office.

9. See platting requirements. All necessary documents to reflect compliance must be complete before application will be deemed complete.

10. I agree to comply with all platting and subdivision requirements of Hopkins County, Texas. I understand that the plat will NOT be forwarded to the Commissioners' Court unless all documentation is satisfactorily filed with the County Clerk's Office correction due date.

[Signature]
Signature of Owner/Applicant

Vincent Russo Partner
Print Name & Title

**If applicant is person other than owner, a letter of authorization must be provided from owner. Signature indicates authorization for plat application and acceptance of waiver statement.

DATE: 11/13/23

Appendix B
SUBDIVISION PLATTING CHECKLIST
FIRST READING
(PRELIMINARY)

Name of Subdivision: The Meadows At Deer Crossing
 Contact Person: _____ Phone Number: _____

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Name of proposed subdivision.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Name and address of Sub-divider.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Volume, page and reference names of adjoining owners.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Volume, page and reference land use of adjoining owners.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Master Development Plan (if subdivision is a portion of a larger Tract.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location map.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scale (not smaller than 1"=200'). <i>If parent tract is larger than 320 acres, scale may be 1"=1,000' w/proposed plat 1"=200'.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	North directional arrow.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Contour information – rivers, creeks, bluffs, etc. (no greater than 2' intervals)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Major topographic features.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Total acreage in subdivision.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Total number of lots in subdivision.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Typical lot dimensions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Land use of lots, parks, greenbelts.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Total length of roads.

PRELIMINARY CHECKLIST

YES NO N/A

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Width of right-of-way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Special flood hazard areas/note.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Road maintenance (County/Home Owners Assn.).
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Approval by TxDOT or County for driveway entrance(s).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of wells - water, gas, & oil, where applicable & unused capped statement.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plat Filing Fees paid. (receipt from County Clerk required)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	On-Site Sewage Facility Inspector's Approval
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Acknowledgement of Rural Addressing / Signage.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Water Availability Study.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Tax Certificates and rollback receipts.

Signature of Reviewer

Date of Review

ADDITIONAL REQUIREMENTS:

ALL ITEMS ON THIS CHECKLIST MUST BE IN THE HANDS OF THE COUNTY CLERK'S OFFICE NO LESS THAN THIRTY (30) DAYS PRIOR TO THE COMMISSIONERS' COURT HEARING DATE.

Debbie Mitchell
 Tax Assessor/Collector
 128 Jefferson Street, Ste. D
 Sulphur Springs, TX 75482



Tax Certificate
 Property Account Number:
65-0797-000-003-00

Statement Date: 11/13/2023
Owner: FRICKE JUNE PUNTILLO & CRAIG FLANAGAN
Mailing: P O BOX 141
Address: LEONARD, TX 75452

Property Location: 0000000 CR 3512 WS INSIDE
Legal: ABS: 797 & 133| TR: 3| SUR: REDDING JOSEPH

TAX CERTIFICATE FOR ACCOUNT : 65-0797-000-003-00
 AD NUMBER: R000020294
 GF NUMBER:
 CERTIFICATE NO : 360880

DATE : 11/13/2023
 FEE : 10.00

PAGE 1 OF 1

COLLECTING AGENCY

Hopkins County
 128 Jefferson Street, Ste. D
 Suite D
 Sulphur Springs TX 75482

PROPERTY DESCRIPTION

ABS: 797 & 133| TR: 3| SUR: REDDING JOSEPH
 0000000 CR 3512 WS INSIDE
 68.102 ACRES

REQUESTED BY

DCTXLP LLC
 5230 PAYLOR LANE
 SARASOTA FL 34240

PROPERTY OWNER

FRICKE JUNE PUNTILLO & CRAIG FLANAGAN
 P O BOX 141
 LEONARD TX 75452

UDI: 0%

THIS IS TO CERTIFY THAT AFTER A CAREFUL CHECK OF THE TAX RECORDS, ALL TAXES DUE THE TAX ASSESSOR COLLECTOR OF HOPKINS COUNTY ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN PAID UP TO AND INCLUDING THE CURRENT YEAR TAXES WITH ANY ABOVE LISTED EXCEPTIONS.

THE ABOVE DESCRIBED PROPERTY TAX HAS/IS RECEIVING SPECIAL VALUATION BASED ON ITS USE, AND ADDITIONAL ROLLBACK TAXES MAY BECOME DUE BASED ON THE PROVISIONS OF THE SPECIAL VALUATION. SPTB RULE 155.40 (B) PARAGRAPH 6.

TAXES FOR 2023 ARE 147.79

CURRENT VALUES			
LAND MKT VALUE:	\$8,910	IMPROVEMENT :	\$0
AG LAND VALUE:	\$195,020	DEF HOMESTEAD:	\$0
APPRAISED VALUE:	\$203,930	LIMITED VALUE:	\$0
EXEMPTIONS:	Ag 1D1		
LAWSUITS:			

YEAR	TAX UNIT	LEVY	PEN	INT	DEF INT	ATTY	AMOUNT DUE
2023	COUNTY	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2023	HOSPITAL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2023	NORTH HOPKINS ISD	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2023 SUB TOTAL							\$0.00

TOTAL CERTIFIED TAX DUE 11/2023 : \$0.00
ISSUED TO : DCTXLP LLC
ACCOUNT NUMBER: 65-0797-000-003-00

CERTIFIED BY : Debbie Mitchell
 Authorized agent of Hopkins County

Debbie Mitchell
 Tax Assessor/Collector
 128 Jefferson Street, Ste. D
 Sulphur Springs, TX 75482



Tax Certificate
 Property Account Number:
65-0733-000-001-00

Statement Date: 11/13/2023
Owner: FRICKE JUNE PUNTILLO & CRAIG FLANAGAN
Mailing: P O BOX 141
Address: LEONARD, TX 75452

Property Location: 0002441 CR 3512 NS
Legal: ABS: 733| TR: 1| SUR: PARK ALEXANDER

TAX CERTIFICATE FOR ACCOUNT : 65-0733-000-001-00
 AD NUMBER: R000019575
 GF NUMBER:
 CERTIFICATE NO : 360879

DATE : 11/13/2023
 FEE : 10.00
 PAGE 1 OF 1

COLLECTING AGENCY
 Hopkins County
 128 Jefferson Street, Ste. D
 Suite D
 Sulphur Springs TX 75482

PROPERTY DESCRIPTION
 ABS: 733| TR: 1| SUR: PARK ALEXANDER
 0002441 CR 3512 NS
 151.5 ACRES

REQUESTED BY
 DCTXLP LLC
 5230 PAYLOR LANE
 SARASOTA FL 34240

PROPERTY OWNER
 FRICKE JUNE PUNTILLO & CRAIG FLANAGAN
 P O BOX 141
 LEONARD TX 75452

UDI: 0%

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TAXES FOR 2023 ARE 148.09

CURRENT VALUES			
LAND MKT VALUE:	\$22,110	IMPROVEMENT :	\$0
AG LAND VALUE:	\$432,290	DEF HOMESTEAD:	\$0
APPRAISED VALUE:	\$454,400	LIMITED VALUE:	\$0
EXEMPTIONS:	Ag 1D1		
LAWSUITS:			

YEAR	TAX UNIT	LEVY	PEN	INT	DEF INT	ATTY	AMOUNT DUE
2023	COUNTY	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2023	HOSPITAL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2023 SUB TOTAL							\$0.00

TOTAL CERTIFIED TAX DUE 11/2023 : \$0.00
 ISSUED TO : DCTXLP LLC
 ACCOUNT NUMBER: 65-0733-000-001-00

CERTIFIED BY : Debbie Mitchell
 Authorized agent of Hopkins County

Debbie Mitchell
 Tax Assessor/Collector
 128 Jefferson Street, Ste. D
 Sulphur Springs, TX 75482



Tax Certificate
 Property Account Number:
65-0309-000-002-01

Statement Date: 11/13/2023
Owner: FRICKE JUNE PUNTILLO & CRAIG FLANAGAN
Mailing: P O BOX 141
Address: LEONARD, TX 75452

Property Location: 0002441 CR 3512 WS
Legal: SUR: ELDRIDGE T M|TR: 2-01 ABS: 309

TAX CERTIFICATE FOR ACCOUNT : 65-0309-000-002-01
 AD NUMBER: R000026607
 GF NUMBER:
 CERTIFICATE NO : 360878

DATE : 11/13/2023 PAGE 1 OF 1
 FEE : 10.00

COLLECTING AGENCY
 Hopkins County
 128 Jefferson Street, Ste. D
 Suite D
 Sulphur Springs TX 75482

PROPERTY DESCRIPTION
 SUR: ELDRIDGE T M|TR: 2-01 ABS: 309
 0002441 CR 3512 WS
 37.299 ACRES

REQUESTED BY
 DCTXLP LLC
 5230 PAYLOR LANE
 SARASOTA FL 34240

PROPERTY OWNER
 FRICKE JUNE PUNTILLO & CRAIG FLANAGAN
 P O BOX 141
 LEONARD TX 75452

UDI: 0%

THIS IS TO CERTIFY THAT AFTER A CAREFUL CHECK OF THE TAX RECORDS, ALL TAXES DUE THE TAX ASSESSOR COLLECTOR OF HOPKINS COUNTY ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN PAID UP TO AND INCLUDING THE CURRENT YEAR TAXES WITH ANY ABOVE LISTED EXCEPTIONS.

THE ABOVE DESCRIBED PROPERTY TAX HAS/IS RECEIVING SPECIAL VALUATION BASED ON ITS USE, AND ADDITIONAL ROLLBACK TAXES MAY BECOME DUE BASED ON THE PROVISIONS OF THE SPECIAL VALUATION. SPTB RULE 155.40 (B) PARAGRAPH 6.

TAXES FOR 2023 ARE 36.97

CURRENT VALUES			
LAND MKT VALUE:	\$5,520	IMPROVEMENT :	\$0
AG LAND VALUE:	\$106,380	DEF HOMESTEAD:	\$0
APPRAISED VALUE:	\$111,900	LIMITED VALUE:	\$0
EXEMPTIONS:	Ag 1D1		
LAWSUITS:			

YEAR	TAX UNIT	LEVY	PEN	INT	DEF INT	ATTY	AMOUNT DUE
2023	COUNTY	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2023	HOSPITAL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2023 SUB TOTAL							\$0.00

TOTAL CERTIFIED TAX DUE 11/2023 : \$0.00
ISSUED TO : DCTXLP LLC
ACCOUNT NUMBER: 65-0309-000-002-01

CERTIFIED BY: Debbie Mitchell
 Authorized agent of Hopkins County

TAX CERTIFICATE

ACCT # 65-0733-000-001-00
 DATE 11/13/2023
 SG



SULPHUR SPRINGS ISD
 631 CONNALLY
 SULPHUR SPRINGS, TX 75482
 (903) 885-2153

Cert# 230205
 FEE 10.00

Property Description		
ABS: 733, TR: 1, SUR:	PARK ALEXANDER	PROP TYPE-D1 PCT OWNER-100.000
TOWN -	LOCATION-	2441 CR 3512
ACRES -		151.500

Values			
LAND MKT VALUE	454,400	IMPR/PERS MKT VAL	
LAND AGR VALUE	22,110	MKT. BEFORE EXEMP	22,110
		LIMITED TXBL. VAL	
EXEMPTIONS GRANTED: NONE			

FRICKE JUNE PUNTILLO & CRAIG FLANAGAN
 P O BOX 141

LEONARD TX 75452

I, SANDRA GIBBY, TAX COLLECTOR FOR THE SULPHUR SPRINGS INDEPENDENT SCHOOL DISTRICT DO HEREBY CERTIFY AND OTHERWISE GUARANTEE THAT THE TAX LEVYS, PENALTIES/INTEREST AND ATTORNEY FEES DUE IN THE CURRENT MONTH FOR THE ABOVE DESCRIBED PROPERTY ARE AS LISTED BELOW:

TAXES 2023	LEVY	P&I	ATTY FEES	AMT DUE
	.00	.00	.00	.00
	.00	.00	.00	.00
				=====
				.00
				.00
ACCT # 65-0733-000-001-00		TOTAL DUE 11/2023		.00
		TOTAL DUE 12/2023		.00

BREAKDOWN OF TAX DUE BY JURISDICTION

JURISDICTION	LEVY	P&I	ATT FEES	TOTAL
SULPHUR SPRINGS ISD	.00	.00	.00	.00

TAX LEVY FOR THE CURRENT ROLL YEAR: 0086 219.20
 TOTAL TAX LEVY FOR THE CURRENT ROLL YEAR 219.20

 * SUBJECT TO ROLLBACK *
 * SUBJECT TO ROLLBACK *

REQUESTED BY:
 RUSSO DEVELOPMENT GROUP

Signature of authorized officer of collecting office

**NORTH HOPKINS WATER SUPPLY CORP.
9364 TEXAS HIGHWAY 19 N
SULPHUR SPRINGS, TEXAS 75482
903-945-2619**

November 9, 2023

Mr. Rusty Simmons
American Land and Lakes


RE: The Meadows at Deer Crossing

To Whom It May Concern:

Please allow this letter to confirm that North Hopkins Water Supply Corporation will supply the water to The Meadows at Deer Crossing in Dike, Texas.

If you have any questions, please do not hesitate to contact me.

Sincerely,


Casey Janway
Manager

Appendix O

CERTIFICATE OF ON-SITE SEWAGE FACILITY INSPECTOR'S APPROVAL

THE STATE OF TEXAS §

COUNTY OF HOPKINS §

KNOW ALL MEN BY THESE PRESENTS, that I, the undersigned, a Licensed On-Site Sewage Facility Inspector in the State of Texas, hereby certify that I have inspected the On-Site Sewage Facilities for this plat, and the same complies with the related requirements of the Hopkins County Subdivision Regulations and the TCEQ.

Kristy Springfield
On Site Inspector

November 23, 2023
Date

License No. OS 0034831

Seal:



[NOTE: *The inspector may be required to be present for questioning at the presentation of the plat to the Commissioners' Court.*]

DATE 11/14/2023

HOPKINS COUNTY CLERK
128 JEFFERSON STREET, SUITE C
SULPHUR SPRINGS TEXAS 75482

RECEIPT # 210217

TIME 16:27

FILE # M29860

RECEIVED OF: RUSSO, VINCENT

FOR: THE MEADOWS AT DEER CROSSING

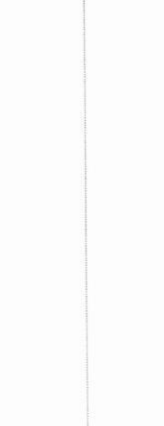
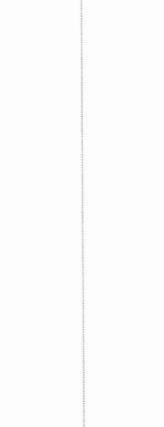
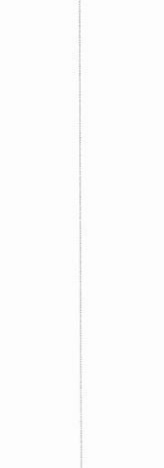
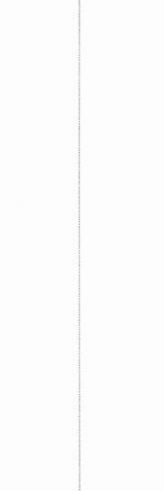
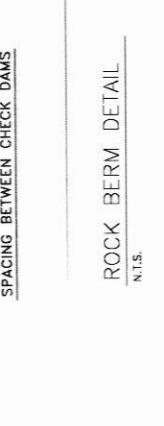
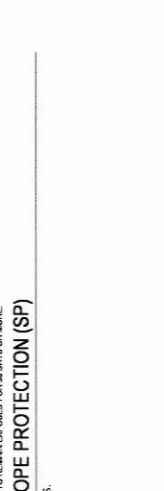
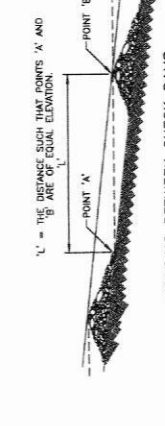
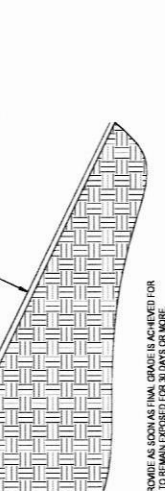
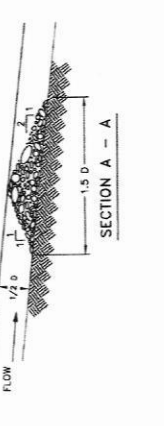
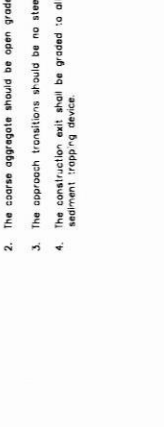
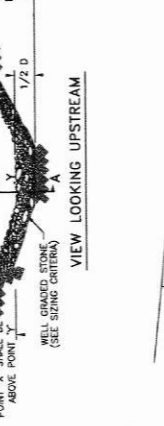
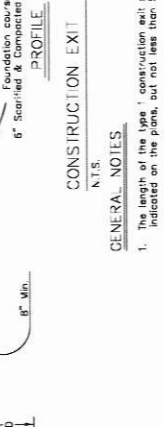
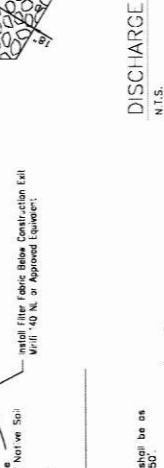
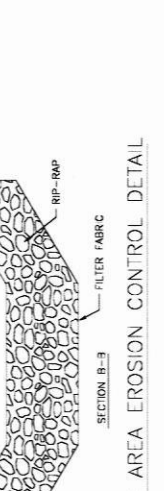
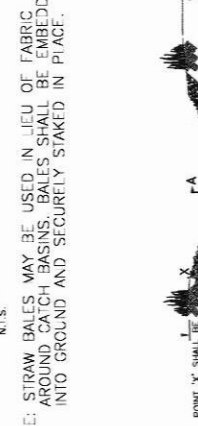
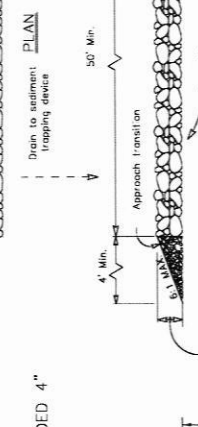
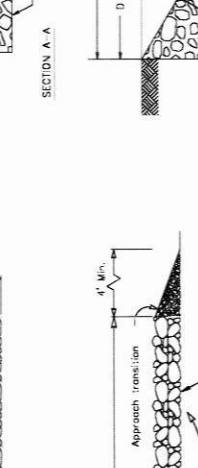
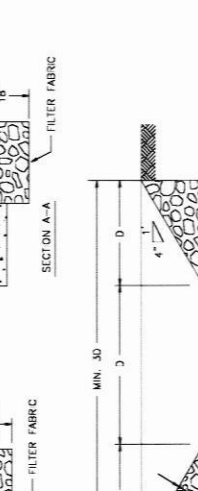
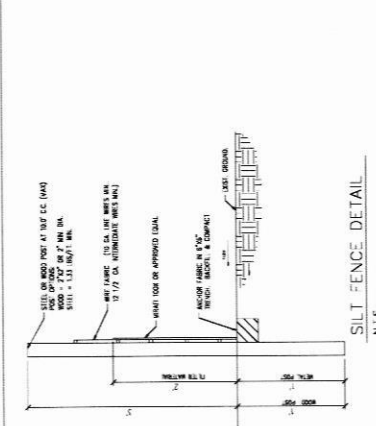
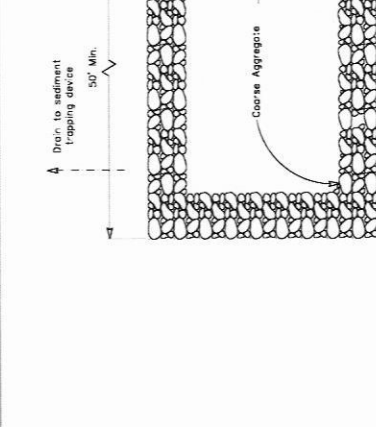
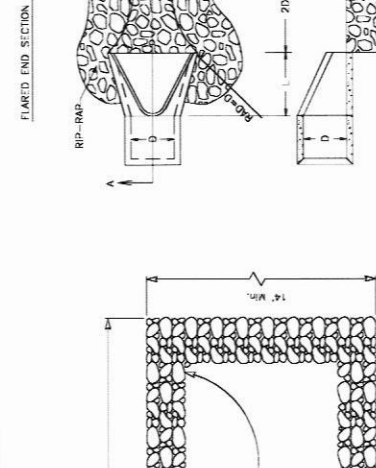
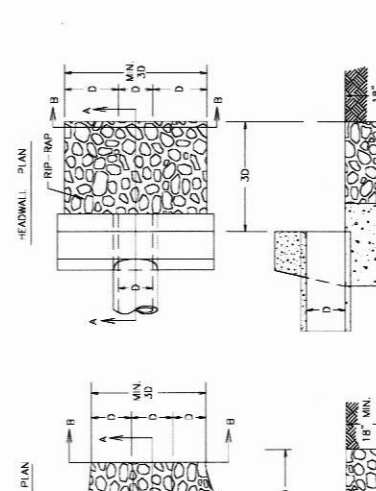
DESCRIPTION: PAID/MH

AMOUNT DUE	\$2,270.00

AMOUNT PAID	\$2,270.00

BALANCE	\$.00

PAYMENT TYPE D
CHECK NO 0282186962
COLLECTED BY MH



NOTE: STRAW BALES MAY BE USED IN LIEU OF FABRIC AROUND CATCH BASINS; BALES SHALL BE EMBEDDED 4" INTO GROUND AND SECURELY STAKED IN PLACE.

GENERAL NOTES:
 1. The length of the type 1 construction exit shall be as indicated on the plans, but not less than 50'.
 2. The coarse aggregate should be open graded with a size of 4" to 8".
 3. The approach transitions should be no steeper than 6:1.
 4. The construction exit shall be graded to allow drainage to a sediment trapping device.

CONSTRUCTION EXIT
 N.T.S.

VIEW LOOKING UPSTREAM
 N.T.S.

VIEW LOOKING DOWNSTREAM
 N.T.S.

SPACING BETWEEN CHECK DAMS
 N.T.S.

ROCK BERM DETAIL
 N.T.S.

INSTALL NORTH AMERICAN DRETT, OR EQUIVALENT, NON-WOVEN GEOTEXTILE ON ALL SLOPES THAT EXCEED A 3:1 SLOPE.

NOTE: PROVIDE AS SOON AS FINAL GRADE IS ACHIEVED FOR SLOPES TO REMAIN EXPOSED FOR 30 DAYS OR MORE.

N.T.S.

DISCHARGE AREA EROSION CONTROL DETAIL
 N.T.S.

SECTION A-A
 SECTION B-B

FLARED END SECTION PLAN
 HEADWALL PLAN

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ISSUED FOR	DATE

DEER CROSSING SUBDIVISION
DIKE, TX



DYNAMIC
Engineering Consultants
PROFESSIONAL ENGINEERING SERVICES
408 S. HILLCREST, SUITE C
DALLAS, TEXAS 75219
PHONE: 972.343.8888
FAX: 972.343.8889
WWW.DYNAMICCONSULTANTS.COM



ENGINEER'S SEAL	NAME	DATE
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EXPIRES	12/31/1905	1/1/1905
ISSUED	12/31/1903	1/1/1903
EXPIRES	12/31/1904	1/1/1904
ISSUED	12/31/1902	1/1/1902
EXPIRES	12/31/1903	1/1/1903
ISSUED	12/31/1901	1/1/1901
EXPIRES	12/31/1902	1/1/1902
ISSUED	12/31/1900	1/1/1900
EXPIRES	12/31/1901	1/1/1901
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EXPIRES	12/31/1899	1/1/1899
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EXPIRES	12/31/1898	1/1/1898
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EXPIRES	12/31/1888	1/1/1888
ISSUED	12/31/1886	1/1/1886
EXPIRES	12/31/1887	1/1/1887
ISSUED	12/31/1885	1/1/1885
EXPIRES	12/31/1886	1/1/1886
ISSUED	12/31/1884	1/1/1884
EXPIRES	12/3	



COEFFICIENTS OF LARGE COEFFICIENTS

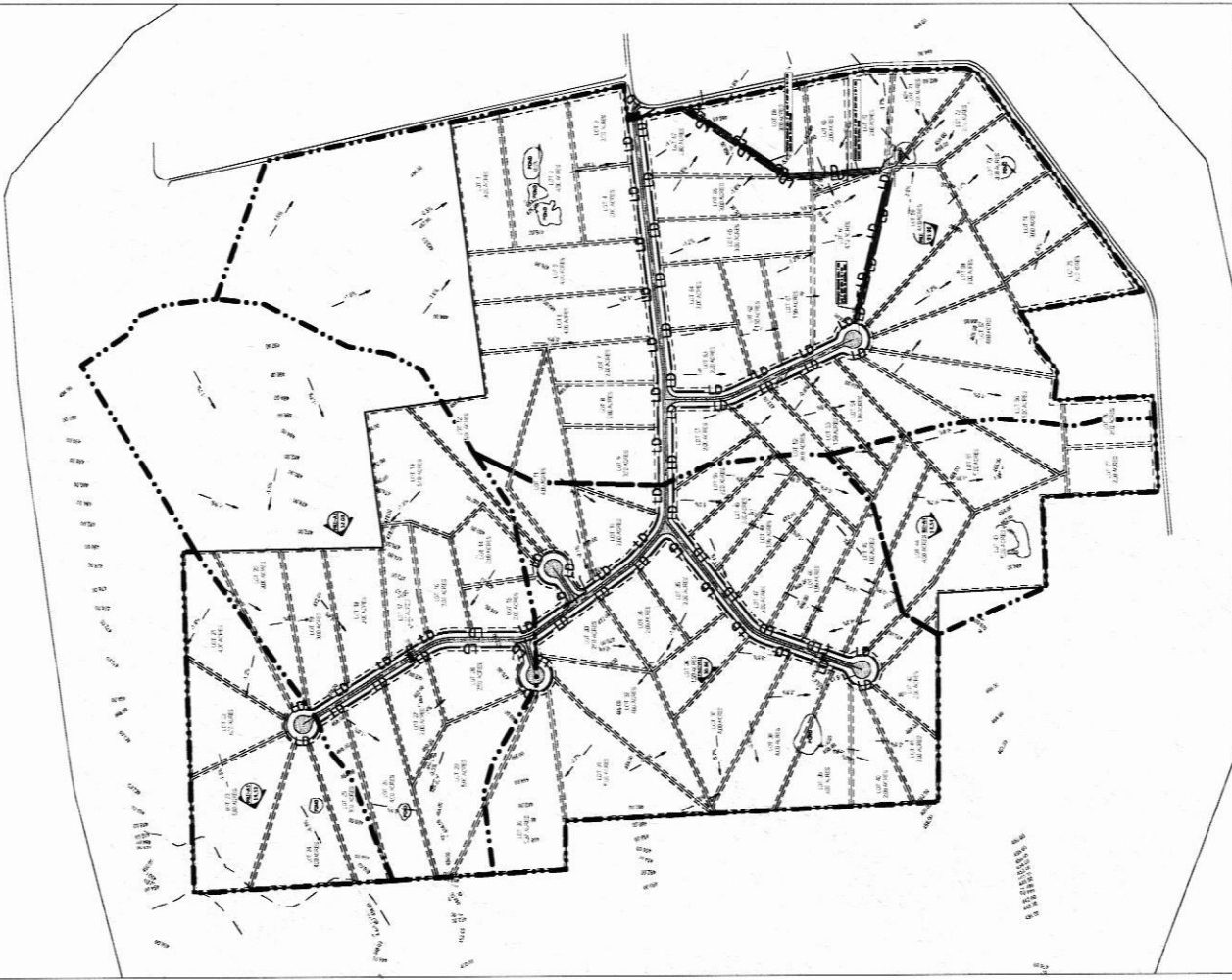
Return Period (Yr)	C	D	E
1.5	1.0	1.0	1.0
2.0	1.05	1.05	1.05
3.0	1.1	1.1	1.1
4.0	1.15	1.15	1.15
5.0	1.2	1.2	1.2
6.0	1.25	1.25	1.25
7.0	1.3	1.3	1.3
8.0	1.35	1.35	1.35
9.0	1.4	1.4	1.4
10.0	1.45	1.45	1.45

Deer Crossing Subdivision Pre-Development Flow (Rational Method)

Drainage Area (Acres)	Runoff Coef. (C)	Time of Concentration (min)	Peak Flow (cfs)	Peak Flow (MGD)
1.0	0.5	5	1.0	0.014
2.0	0.5	5	2.0	0.028
3.0	0.5	5	3.0	0.042
4.0	0.5	5	4.0	0.056
5.0	0.5	5	5.0	0.070
6.0	0.5	5	6.0	0.084
7.0	0.5	5	7.0	0.098
8.0	0.5	5	8.0	0.112
9.0	0.5	5	9.0	0.126
10.0	0.5	5	10.0	0.140

Deer Crossing Subdivision Post-Development Flow (Rational Method)

Drainage Area (Acres)	Runoff Coef. (C)	Time of Concentration (min)	Peak Flow (cfs)	Peak Flow (MGD)
1.0	0.5	5	1.0	0.014
2.0	0.5	5	2.0	0.028
3.0	0.5	5	3.0	0.042
4.0	0.5	5	4.0	0.056
5.0	0.5	5	5.0	0.070
6.0	0.5	5	6.0	0.084
7.0	0.5	5	7.0	0.098
8.0	0.5	5	8.0	0.112
9.0	0.5	5	9.0	0.126
10.0	0.5	5	10.0	0.140

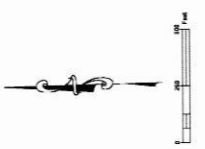


LEGEND

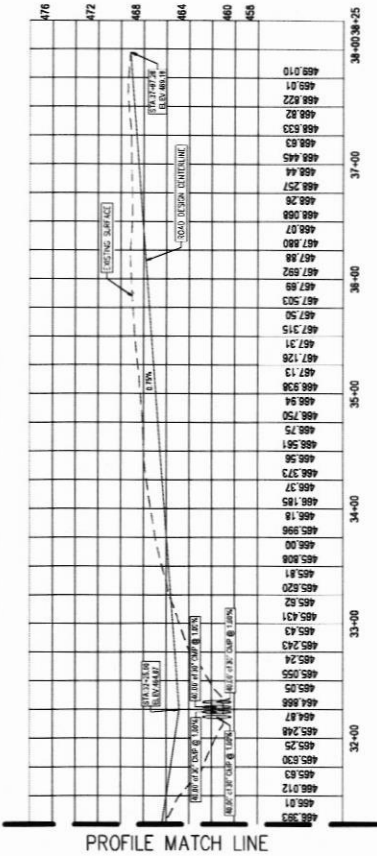
- PRE-CONSTRUCTION DRAINAGE
- POST-CONSTRUCTION DRAINAGE
- EXISTING CONTOUR LINES
- PROPOSED CONTOUR LINES
- AREA DRAINAGE
- DRAIN BASIN
- DRAINAGE DIRECTION
- DRAINAGE DIRECTION WITH SLOPE INDICATION
- SKY FENCE
- EXISTING ROAD DIRECTION
- EXISTING ROAD DIRECTION WITH SLOPE INDICATION
- FLOW LINE
- 10' FLOOD
- 5' FLOOD
- 1' FLOOD
- 0' FLOOD
- 10' FLOOD
- 5' FLOOD
- 1' FLOOD
- 0' FLOOD

SITENOTE NOTES

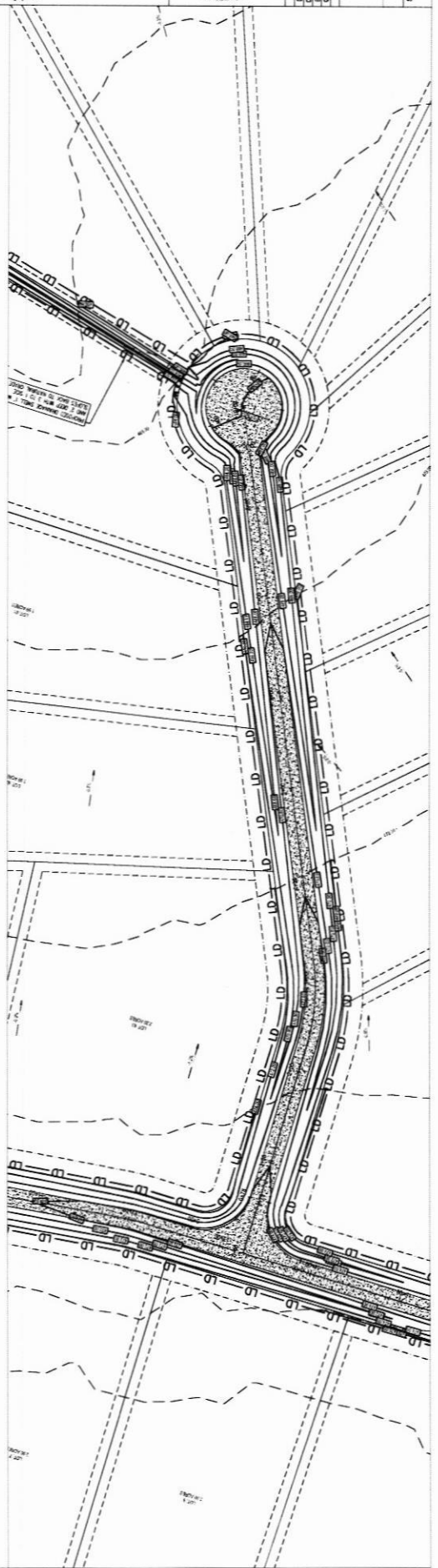
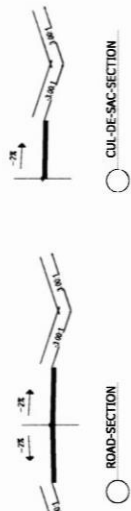
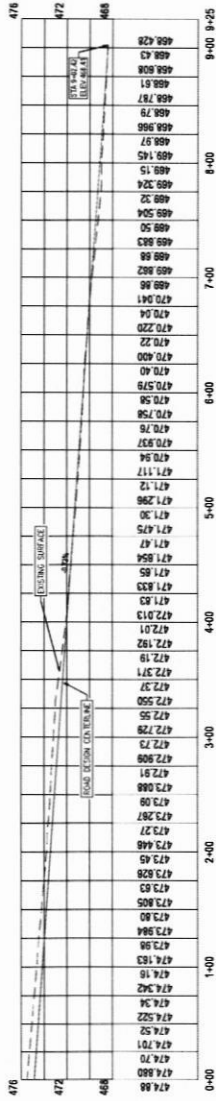
- PROPOSED DRAINAGE IS TO BE INSTALLED AS SHOWN ON THESE PLANS BY A LICENSED PROFESSIONAL ENGINEER AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TEXAS CONSTRUCTION ACT AND ALL APPLICABLE REGULATIONS. THE DRAINAGE SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE ENGINEER AND SHALL BE MAINTAINED IN ACCORDANCE WITH THE TEXAS CONSTRUCTION ACT AND ALL APPLICABLE REGULATIONS.
- THE DRAINAGE SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE ENGINEER AND SHALL BE MAINTAINED IN ACCORDANCE WITH THE TEXAS CONSTRUCTION ACT AND ALL APPLICABLE REGULATIONS.
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DEER CROSSING LANE PROFILE



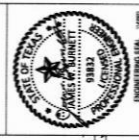
SOUTHEAST LANE PROFILE



DEER CROSSING SUBDIVISION
DIKE, TX



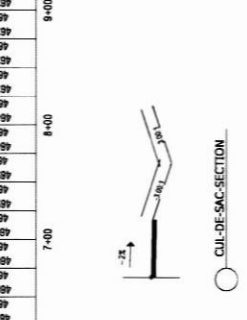
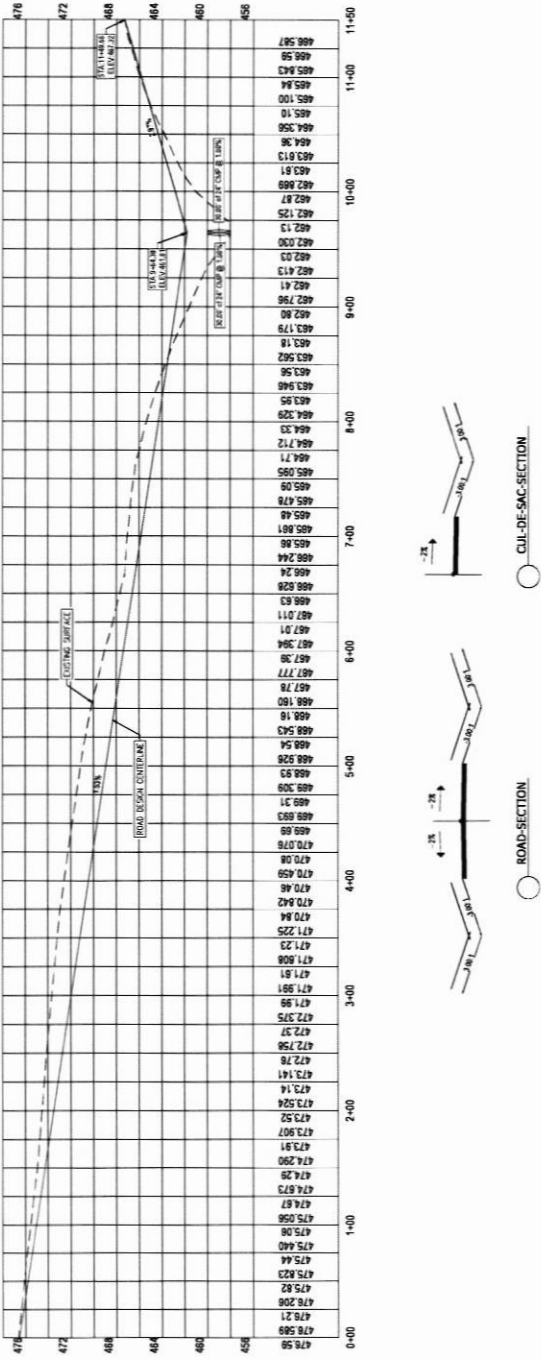
DYNAMIC
Engineering Consultants
PROFESSIONAL ENGINEERING SERVICES
1000 WEST WYOMING STREET, SUITE 100
DALLAS, TEXAS 75201
PHONE: (214) 343-1111
FAX: (214) 343-1112
WWW.DYNAMICCONSULTANTS.COM



ENGINEERING TITLE	DATE
DESIGNED	
CHECKED	
IN CHARGE	
DATE	
PROJECT #	
SHEET NUMBER	

C3.10

SOUTHWEST LANE PROFILE



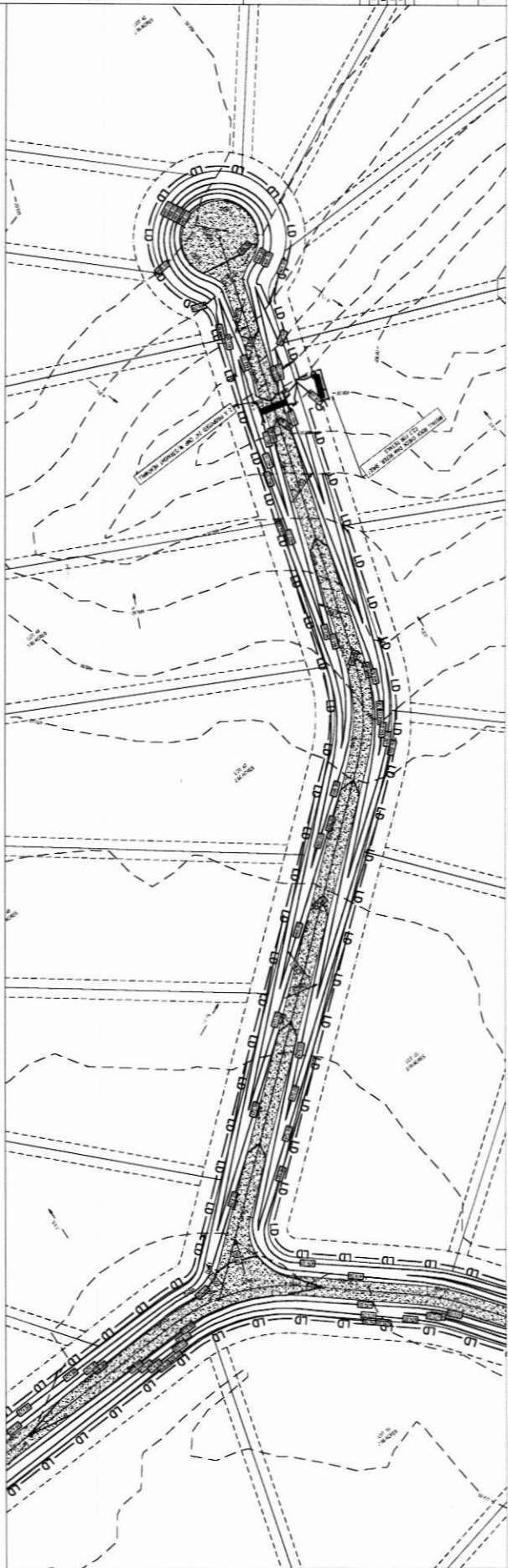
DYNAMIC
Engineering
Consultants

PROFESSIONAL
ENGINEERING
SERVICES
300 ALPHEUS SPRING, TX
75001

REGISTERED SEAL
DATE
DRAWN
CHECKED
IN CHARGE
DATE



PROJECT #	8551
SHEET NUMBER	C3.11



REQUIREMENTS FOR CULVERT PIPES AND SAFETY PIPE RUNNERS

Pipe I.D.	RCP Wall Thickness	TP Wall Thickness	Slope	Min Length	Pipe Runners Required		Required Pipe Runner Size
					Single Pipe	Multiple Pipe	
12"	2"	1.15"	17.00'	6' - 9"	No	Yes, for > 2 pipes	3" STD 3.500' 3.068'
15"	2 1/2"	1.30"	20.50'	6' - 5"	No	Yes, for > 2 pipes	3" STD 3.500' 3.068'
18"	2 3/4"	1.60"	24.00'	8' - 0"	No	Yes, for > 2 pipes	3" STD 3.500' 3.068'
24"	3"	1.95"	31.00'	11' - 3"	No	Yes, for > 2 pipes	3" STD 3.500' 3.068'
30"	3 1/2"	2.65"	38.50'	14' - 8"	No	Yes	4" STD 4.500' 4.026'
36"	4"	2.75"	45.50'	17' - 11"	Yes	Yes	4" STD 4.500' 4.026'
42"	4 1/2"	2.7"	52.50'	21' - 2"	Yes	Yes	4" STD 4.500' 4.026'

- Dimension "D" is based on reinforced concrete pipe (RCP) meeting the requirements of ASTM C 76. Class II, RCP wall "D" thickness. Adjust "D" for any other wall thickness used. For thermoplastic pipe (TP) take into account the annular space requirements for gasketed connections.
- Slope as shown elsewhere in the plans. Slope of 6:1 or flatter is required for vehicle safety.
- Toewall to be used only when dimension is shown elsewhere in the plans.
- Fill the top 4" of void between precast end treatments with concrete riprap. Concrete riprap is considered subsidiary to the Item 467, "Safety End Treatment."
- Provide compact stabilized bedding and backfill in accordance with the Item 400, "Excavation and Backfill for Structures." Bedding and backfill considered to be "in place" when the concrete riprap is specified around the safety end treatment, backfill as directed by Engineer.
- Thermoplastic pipe wall thickness may vary. Adjust accordingly. Thermoplastic pipe requires the safety end treatments to have a bell end for gasketed connections.

GENERAL NOTES:

Precast safety end treatment for reinforced concrete pipe (RCP), and thermoplastic pipe (TP) shall be as shown in TYPE II End Treatment as specified in Item "Safety End Treatment."

When precast safety end treatment is used as a Contractor's alternate to mitered RCP, riprap will not be required unless noted otherwise on the drawings.

Synthetic fibers listed on the "Fibers for Concrete" Material Producer List (MPL) may be used in lieu of steel reinforcing in riprap concrete unless noted otherwise.

Except as noted below, product in accordance with Item 467, "Safety End Treatment"

- Provide minimum reinforcing of #4 @ 6" (Grade 40) or #4 @ 9" (Grade 60) each way or 6"x6" - D12 x D12
- For precast (cast in form) sections, provide 600s/c concrete (f'c = 3,600 psi)

At the option and expense of the Contractor, the next larger size of safety end treatment may be furnished, as long as the "D" dimension equals that of the required safety end treatment.

Pipe runners are designed for a traversing load of 10,000 lbs at yield as recommended by Research Report 280-2F, "Safety Treatment of Roadside Pipe and Manhole Connections," Texas Transportation Institute, March 1981.

Provide pipe connections in accordance with the requirements of ASTM A53 (Type E or S, Grade B), ASTM A500 (Grade B), or API 5L X52.

Galvanize all steel components except reinforcing steel after fabrication.

When installing damaged during transport or construction in accordance with the Item 467, "Safety End Treatment," connect RCP using the Optional Joint for RCP detail shown or in accordance with Item 464, "Reinforced Concrete Pipe - Connect TP by grouting See Pipe and Box Gasket Connections (PGCC) Standard for gasketed connections with TP and precast safety end treatment."

Texas Department of Transportation

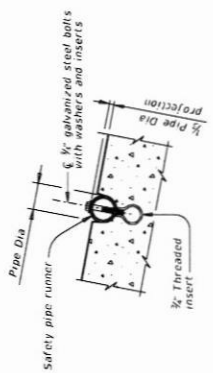
BRIDGE STANDARD

PRECAST SAFETY END TREATMENT

TYPE II - PARALLEL DRAINAGE

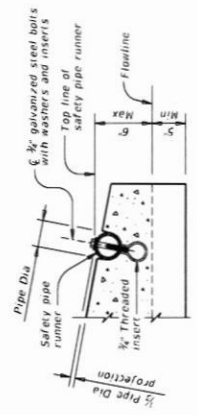
PSET-5P

REV	DATE	BY	CHK	APP
01	08/15/10	W. H. HARRIS	J. W. HARRIS	
02	08/15/10	W. H. HARRIS	J. W. HARRIS	

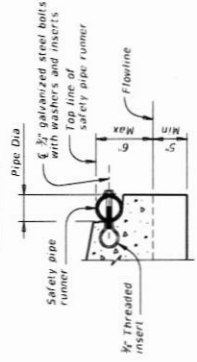


INSTALLATION DETAIL FOR SAFETY PIPE RUNNERS

(If required)



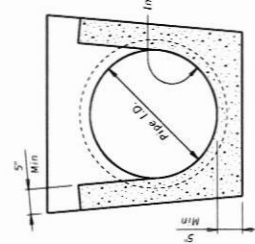
OPTION A



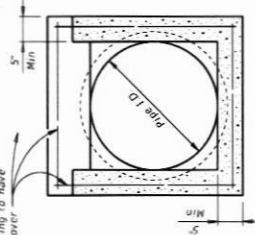
OPTION B

END DETAILS FOR INSTALLATION OF SAFETY PIPE RUNNERS

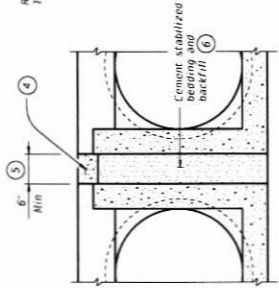
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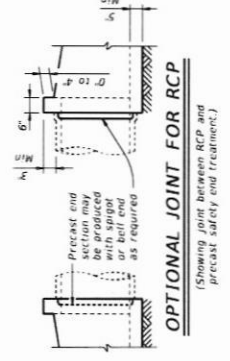
OPTION WITH INVERT BOTTOM



OPTION WITH SQUARE BOTTOM SECTION A-A

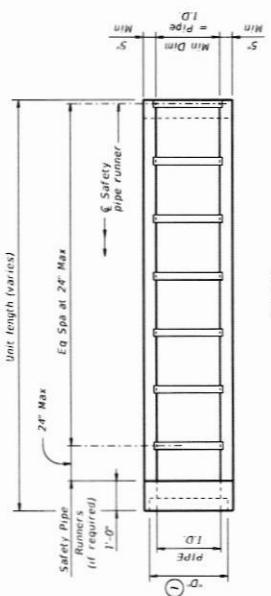


MULTIPLE PIPE INSTALLATION



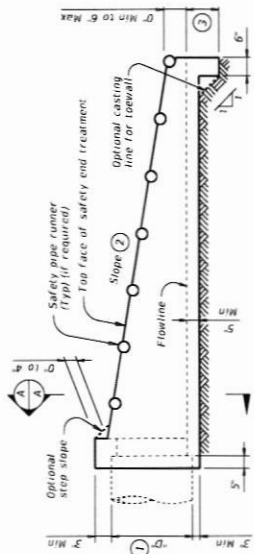
OPTIONAL JOINT FOR RCP

(Showing joint between RCP and precast safety end treatment.)



PLAN

(Showing bell end connection.)



LONGITUDINAL ELEVATION

(Showing bell end connection.)

ESTIMATED CONCRETE RIPRAP QUANTITIES (CY)

Nominal Culvert (Pipe) I.D.	PSET-SC and PSET-SP Standards		PSET-RC and PSET-RP Standards		Side Slope	
	Unit Width "W"	Unit "W"	Unit Width "W"	Unit "W"	Unit Width "W"	Unit "W"
	3:1	4:1	6:1	0.1	0.2	0.3
12"	23.0	0.1	0.2	16.0	0.1	0.1
15"	26.5	0.2	0.3	19.5	0.1	0.2
18"	30.0	0.2	0.3	23.0	0.2	0.3
24"	37.0	0.3	0.4	30.0	0.2	0.3
30"	44.5	0.3	0.4	37.0	0.3	0.4
36"	51.5	0.4	0.5	44.0	0.3	0.4
42"	58.5	0.5	0.6	51.0	0.4	0.5

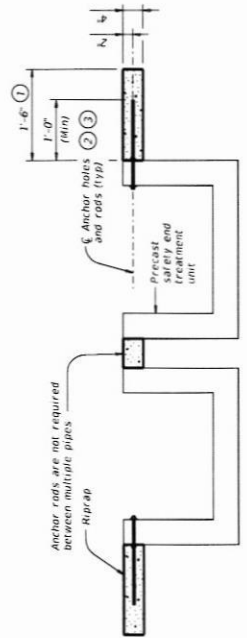
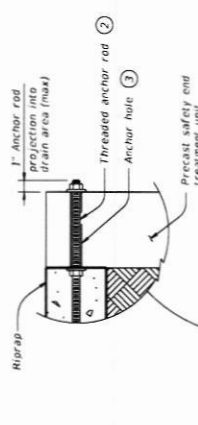
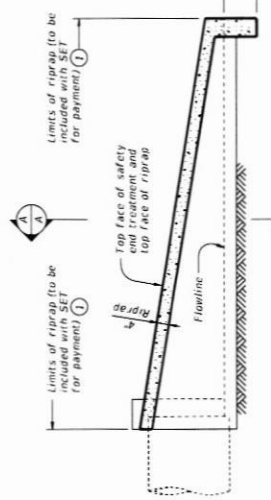
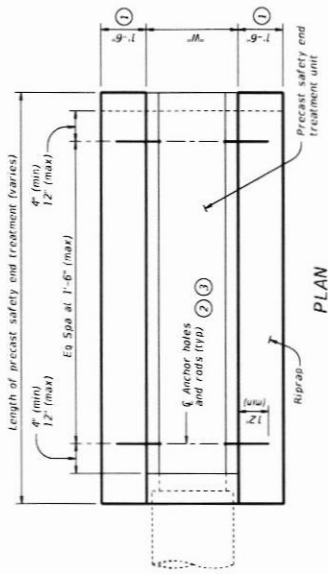
1. Riprap placed beyond the limits shown will be paid as concrete riprap in accordance with Item 432, "Riprap." When riprap is cast integrally with the precast safety end treatment, this dimension is 1'-0" minimum.
2. 1/2" Dia ASTM A307 Gr. A threaded anchor rod with 2 nuts and 2 washers. Galvanize all components in accordance with Item 445, "Galvanizing." Repair galvanizing that is damaged during transport or construction in accordance with the specifications.
3. 3/8" through holes in walls of safety end treatment for riprap anchor rods may be drilled with rotary (coring or masonry) type drilling equipment or may be drilled with a hand drill. Holes shall be drilled in the concrete and shall be patched with patch spalls in the inside face of the wall extending 1/2" from the hole.
4. Provide riprap toe wall when dimension is shown elsewhere in the plans or when field conditions require a toe wall.
5. Quantities shown are for one end of one reinforced concrete pipe culvert. For multiple pipe culverts, quantities will need to be adjusted. Riprap quantities shown are for the length of the precast safety end treatment. Standard unit lengths shown on the Precast Safety End Treatment (SET) standard sheets.

MATERIAL NOTES:

1. Provide Class II Riprap in accordance with Item 432, "Riprap."
 Synthetic fibers listed on the "Fibers for Concrete" Material Producer List (MPL) may be used in lieu of steel reinforcing in riprap concrete unless noted otherwise. The anchor rods shown are always required.

GENERAL NOTES:
 Precast safety end treatment for reinforced concrete pipe may be used for TYPE II end treatment for safety end treatment. Safety end treatment square sheets for treatments not shown. Refer to PSET-RC or PSET-RP standard sheets for details of round safety end treatments not shown.
 Precast safety end treatment shall be installed in accordance with the specifications. Submit sealed engineering drawings for approval prior to construction. Shop drawings will not be required. Note that a proprietary precast unit with integral riprap is available from L&R Precast Concrete Works, Inc. (956) 583-6293 or www.lrpcc.com. The price for riprap and tonnage is included in the price bid for each safety end treatment.

These riprap details are only applicable when notes that require placement of riprap with precast safety end treatments are shown elsewhere in the plans.
 Precast units with integrally cast riprap are permitted unless noted otherwise on the plans.



SECTION A-A

Texas Department of Transportation

BRIDGE DIVISION

PRECAST SAFETY END TREATMENT TYPE II RIPRAP DETAILS PSET-RR

DATE: DD-MY-YY
 DRAWN BY: []
 CHECKED BY: []
 APPROVED BY: []
 SHEET NO. [] OF []

